

CHAPIN BUSINESS & TECHNOLOGY PARK AT BRIGHTON

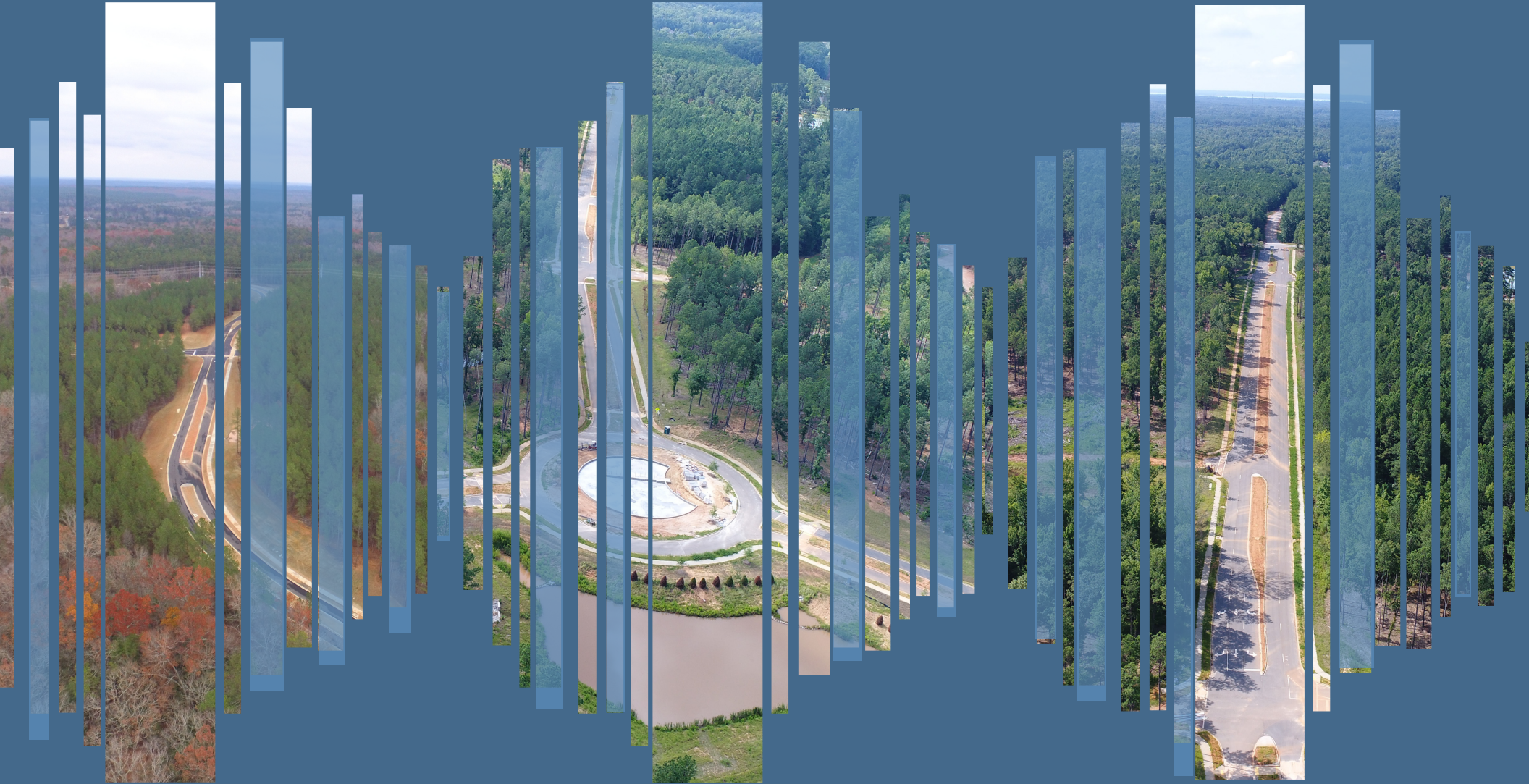
















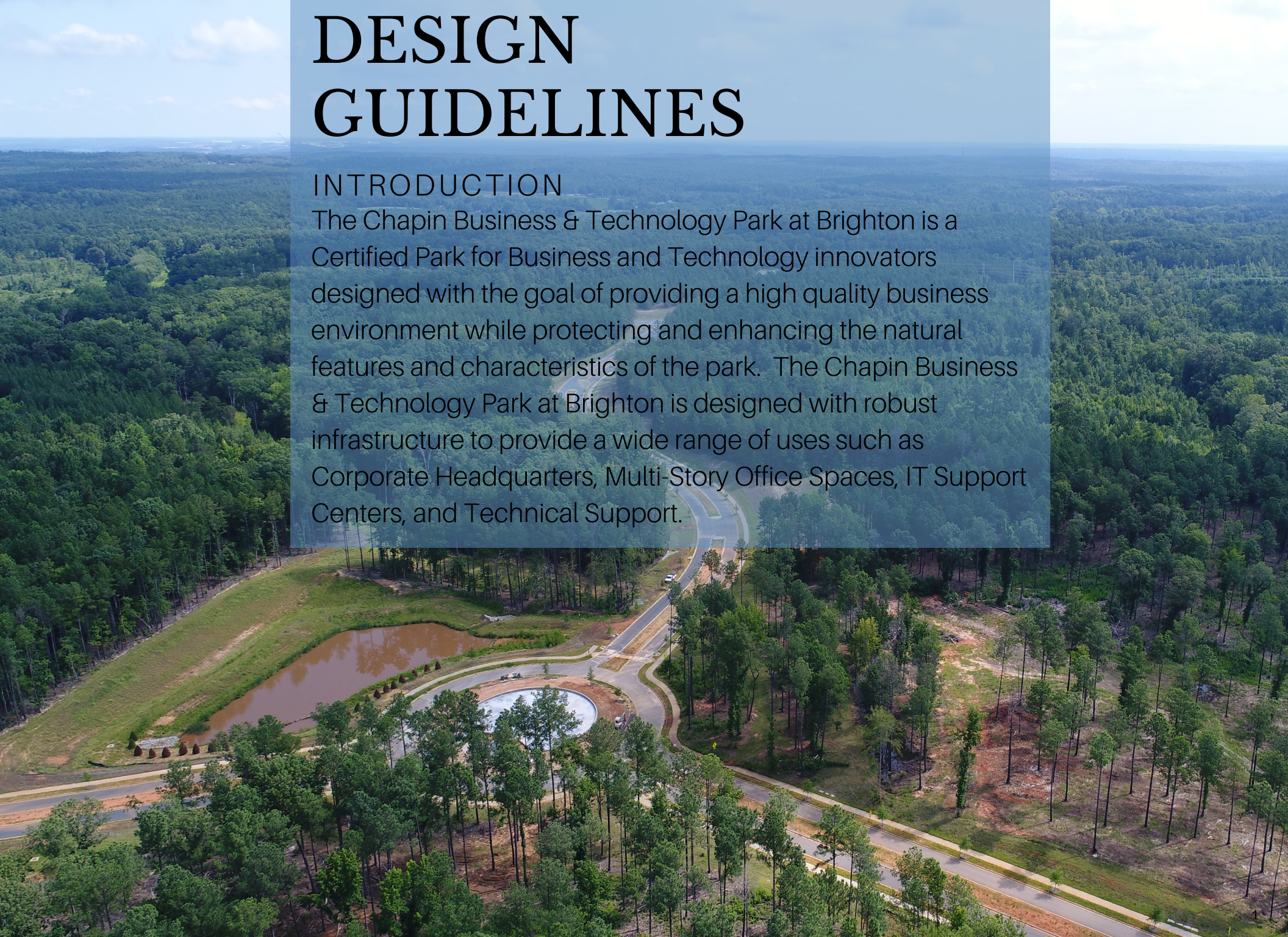
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DESIGN GUIDELINES

INTRODUCTION

The Chapin Business & Technology Park at Brighton is a Certified Park for Business and Technology innovators designed with the goal of providing a high quality business environment while protecting and enhancing the natural features and characteristics of the park. The Chapin Business & Technology Park at Brighton is designed with robust infrastructure to provide a wide range of uses such as Corporate Headquarters, Multi-Story Office Spaces, IT Support Centers, and Technical Support.



The Design Guidelines were created to establish and maintain a high level of design and development quality for the park, and to protect the investment of our future companies locating to the park.

The Guidelines will serve as a framework of procedures, design concepts, performance and quality standards that will guide the design and construction of the Business & Technology Park.

The guidelines are intended to complement Lexington County's Covenants, Conditions, and Restrictions for the Chapin Business & Technology Park at Brighton as well as the current applicable State and County development regulations and requirements.



LEXINGTON COUNTY



"Providing Quality Services and Amenities to our Citizens and Businesses at a Reasonable Cost"



MIDLANDS TECHNICAL COLLEGE



DOWNTOWN COLUMBIA



COLUMBIA METROPOLITAN AIRPORT

Midlands Technical College

Two (2) Campuses in Lexington County
16,000 Students each Year

State Capital - Columbia

Columbia Metropolitan Area
Population of 837,092

Columbia Metropolitan Airport

25 Miles from the Park
Two (2) Runways
Longest Runway 8,600 Feet

GOOD FRIENDS AND GREAT COMMUNITIES



PAVING THE ROAD

SITE OVERVIEW

CERTIFIED AND AVAILABLE

There are currently 161 Acres available for sale, ideal for office space, data centers, and technology services. The Business & Technology Park was Certified by the South Carolina Department of Commerce through the Site Certification Program in 2016. The Chapin Business & Technology Park at Brighton offers proximity to major interstate highways (I-26) and SC Highway 76 and 176. Multiple sites with visibility from I-26.

LIVE-WORK-PLAY

Boulevard roadways with a grassed median, lighting, and sidewalks allow comfortable access nearby amenities. Planned mixed-use development offers a destination for people while generating jobs. This park allows entrepreneurs and residents the ability to work and thrive.

AMPLE WORKFORCE

Lexington, Richland, and Newberry Counties offer highly-skilled workforce, with several Technical Colleges within minutes of the Park. Campuses include the Center for Advanced Technical Studies (CATE Center), Piedmont Technical College, Midlands Technical College, Lexington Technology Center, and ITT Technical Institute Columbia.



TO SUCCESS

PARCELS AVAILABLE FOR DEVELOPMENT

There are currently eighteen (18) Parcels available for development ranging from twenty-five (25) acres to just under four (4) acres. Parcels can be subdivided and are available at a list price of \$60,000 per acres.

ZONED FOR DEVELOPMENT

The entire property is zoned Intensive Development to allow for ease of development.

LEXINGTON COUNTY

Lexington County offers a pro-business climate and performance-based incentives to aide companies in keeping their costs low. Businesses locating within Lexington County and South Carolina have no state property tax, no local income tax, no inventory tax, no wholesale tax, no unitary tax on worldwide profits, and favorable corporate income tax structure.

READY FOR DEVELOPMENT

Lexington County completed Phase I Infrastructure Improvements in 2015. Phase II Infrastructure Improvements were completed in the summer of 2016. Phase II Landscaping Improvements are scheduled to be completed in early 2018.



FIRST-CLASS UTILITIES

- Dedicated Electric Substation planned on-site
- 23.9 kV electric distribution line along Columbia Avenue
- 115 kV electric transmission line northeastern portion of the Park
- 5 MW Available within 6 Months

- 12, 16-inch water main located on-site
- At least 200,000 GPD Available
- Water System has sufficient capacity with an excess capacity of 99.5 MGD



Electric
5 MW
SCE&G



Water
0.2 MGD
City of
Columbia



Wastewater
0.528 MGD
Town of
Chapin



Natural Gas
15,000 mcf
SCE&G



Telecom
T-1 Service
AT&T
Comporium



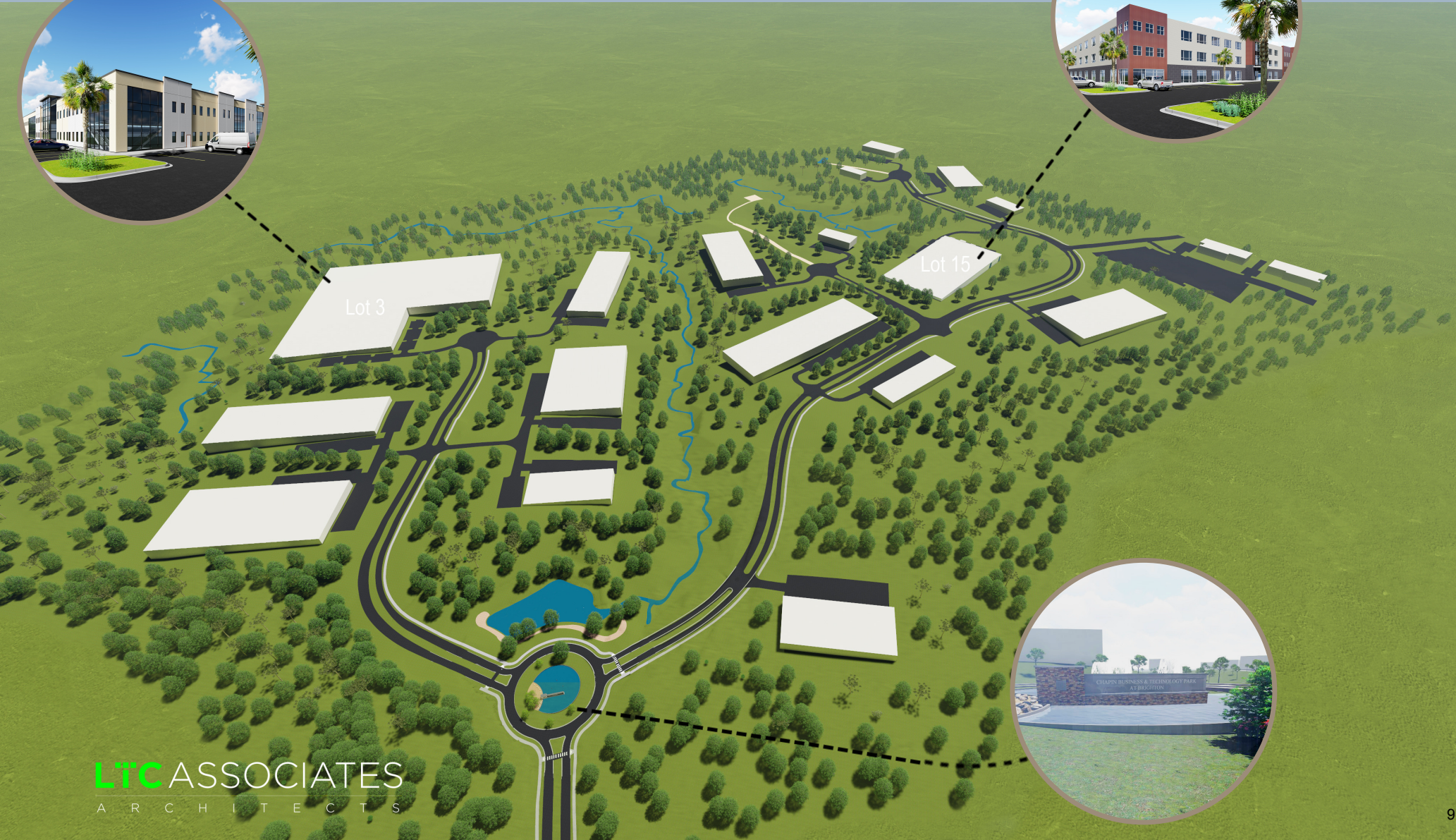
- Fiber Optic Cables located along Columbia Avenue
- Business Level T-1 Service Available within 4 Months
- Service Provided by Comporium and AT&T

- Pump Station located on-site
- 12-inch wastewater main on-site
- 8,10,12-inch wastewater gravity lines on-site
- 200,000 GPD Available



- 6-inch Natural Gas line along Columbia Avenue
- Distribution Pressure
- 15,000 mcf per month available
- Available within 6 months
- Natural Gas Service provided by SCE&G

CONCEPTUAL DEVELOPMENT RENDERING



MASTER DEVELOPMENT PLAN

Parcel	Area (AC)	Building Footprint (SF)
1	±17	83,000
2	±5	81,000
3	±26	387,000
4	±11	75,000
5	±8	88,000
6	±6	28,000
7	±6	32,000
8	±4	30,000
9	±11	92,000
10	±10	40,000
11	±3	15,000
12	±6	50,000
13	±5	27,000
14	±4	11,000
15	±18	149,000
16	±4	13,000
17	±10	82,000
18	±10	111,000
Total	±161	1,394,000



PARCEL 1



FOR SALE

- 17 Acres Greenfield
- \$60,000 per acre

SPECIFICATIONS

- 17 Acres Total
- Dimensions approximately 400 feet by 1,400 feet
- Elevation range from a maximum of 434 feet above sea level to 376 feet above sea level

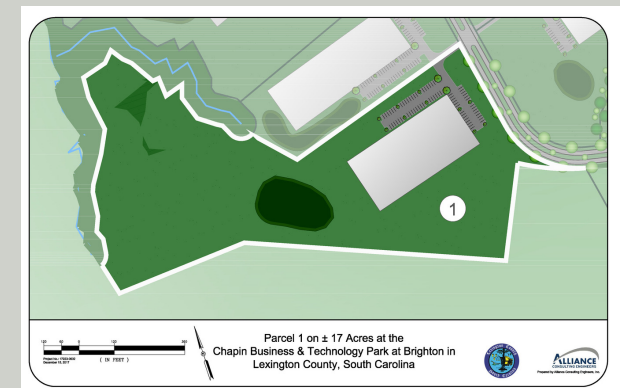
ACCESSIBILITY

- Ingress/Egress off of Creative Lane
- Shared Access with Parcel 2

PROPOSED BUILD-OUT

- 83,000 SF
- 80 Parking Spaces

Parcel 1 currently has a twelve (12)-inch water main and an eight (8)-inch wastewater gravity line adjacent to the site. In addition, an underground electric line is planned to be located on the eastern side of Creative Lane. A Joint Use Duct Bank for Communications is also located along Creative Lane.



PARCEL 2

FOR SALE

- 5 Acres Greenfield
- \$60,000 per acre

SPECIFICATIONS

- 5 Acres Total
- Dimensions approximately 350 feet by 800 feet
- Elevation ranges from a maximum of 436 feet above sea level to 396 feet above sea level

ACCESSIBILITY

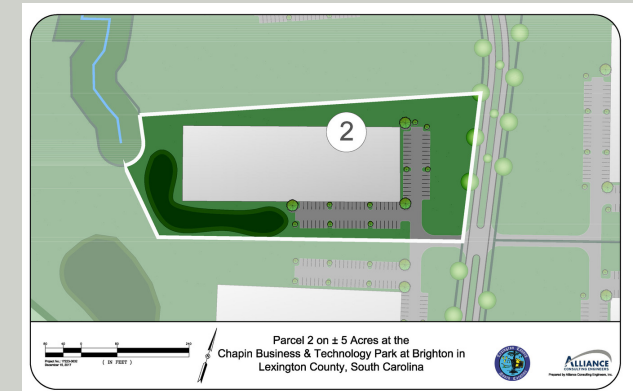
- Ingress/Egress off of Creative Lane
- Shared Access with Parcel 1

PROPOSED BUILD-OUT

- 81,000 SF
- 80 Parking Spaces



Parcel 2 currently has a twelve (12)-inch water main and an eight (8)-inch wastewater gravity line adjacent to the site. In addition, an underground electric line is planned on the eastern side of Creative Lane. A Joint Use Duct Bank for Communications is also located along Creative Lane.



PARCEL 3

FOR SALE

- 25 Acres Greenfield
- \$60,000 per acre

SPECIFICATIONS

- 25 Acres Total
- Dimensions approximately 1,000 feet by 1,300 feet
- Elevation range from a maximum of 424 feet above sea level to 360 feet above sea level

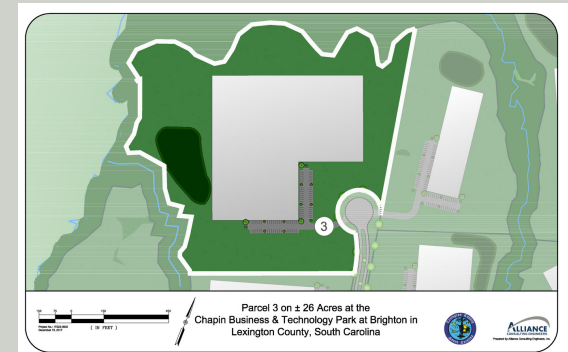
ACCESSIBILITY

- Ingress/Egress off of Creative Lane

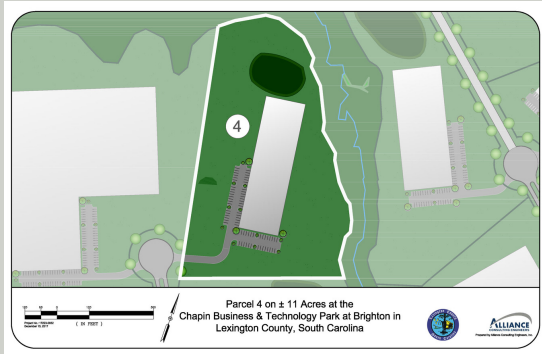
PROPOSED BUILD-OUT

- 387,000 SF
- 100 Parking Spaces

Parcel 3 currently has a twelve (12)-inch water main and an eight (8)-inch wastewater gravity line adjacent to the site. In addition, an underground electric line is planned to be located on the eastern side of Creative Lane. A Joint Use Duct Bank for Communications is also located along Creative Lane.



PARCEL 4



Parcel 4 currently has a twelve (12)-inch water main and an eight (8)-inch wastewater gravity line adjacent to the site. In addition, an underground electric line is planned on the eastern side of Creative Lane. A Joint Use Duct Bank for Communications is also located along Creative Lane.



FOR SALE

- 11 Acres Greenfield
- \$60,000 per acre

ACCESSIBILITY

- Ingress/Egress off of Creative Lane

SPECIFICATIONS

- 11 Acres Total
- Dimensions approximately 500 feet by 1,000 feet
- Elevation ranges from a maximum of 414 feet above sea level to 358 feet above sea level

PROPOSED BUILD-OUT

- 75,000 SF
- 80 Parking Spaces

PARCEL 5



FOR SALE

- 8 Acres Greenfield
- \$60,000 per acre

SPECIFICATIONS

- 8 Acres Total
- Dimensions approximately 650 feet by 550 feet
- Elevation range from a maximum of 436 feet above sea level to 372 feet above sea level

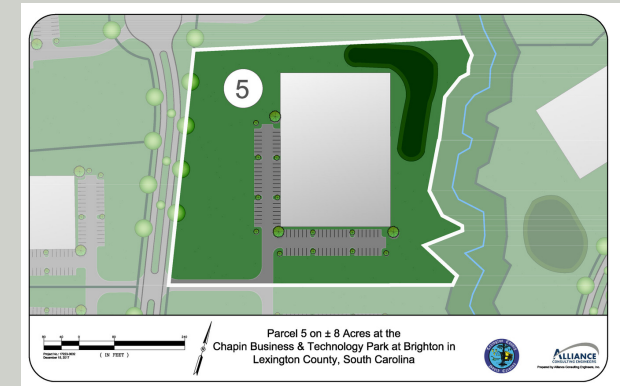
ACCESSIBILITY

- Ingress/Egress off of Creative Lane
- Shared Access with Parcel 6

PROPOSED BUILD-OUT

- 88,000 SF
- 100 Parking Spaces

Parcel 5 currently has a twelve (12)-inch water main and an eight (8)-inch wastewater gravity line adjacent to the site. In addition, an underground electric line is planned to be located on the eastern side of Creative Lane. A Joint Use Duct Bank for Communications is also located along Creative Lane.



PARCEL 6

FOR SALE

- 6 Acres Greenfield
- \$60,000 per acre

SPECIFICATIONS

- 6 Acres Total
- Dimensions approximately 650 feet by 400 feet
- Elevation ranges from a maximum of 438 feet above sea level to 380 feet above sea level

ACCESSIBILITY

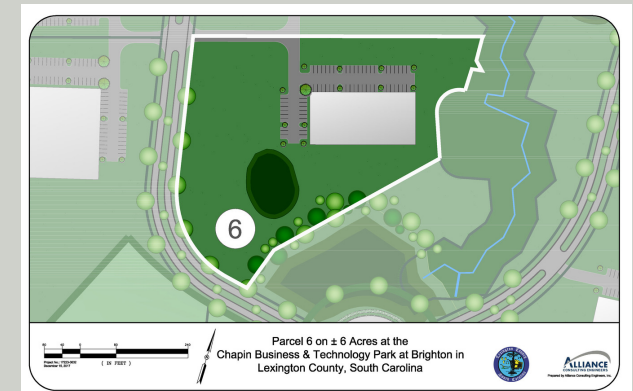
- Ingress/Egress off of Creative Lane
- Shared Access with Parcel 5

PROPOSED BUILD-OUT

- 28,000 SF
- 80 Parking Spaces



Parcel 6 currently has a twelve (12)-inch water main and an eight (8)-inch wastewater gravity line adjacent to the site. In addition, an underground electric line is planned on the eastern side of Creative Lane. A Joint Use Duct Bank for Communications is also located along Creative Lane.



PARCEL 7

FOR SALE

- 5 Acres Greenfield
- \$60,000 per acre

SPECIFICATIONS

- 5 Acres Total
- Dimensions approximately 800 feet by 500 feet
- Elevation range from a maximum of 414 feet above sea level to 394 feet above sea level

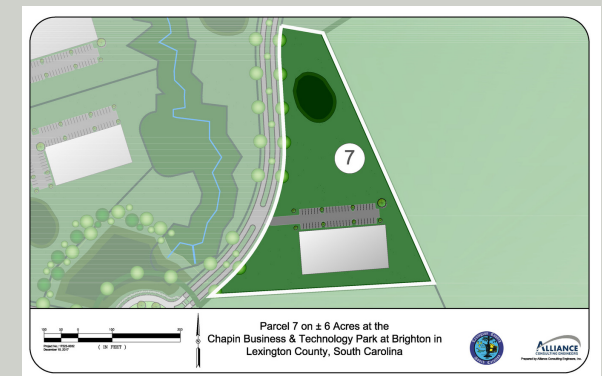
ACCESSIBILITY

- Ingress/Egress off of Chapin Technology Parkway

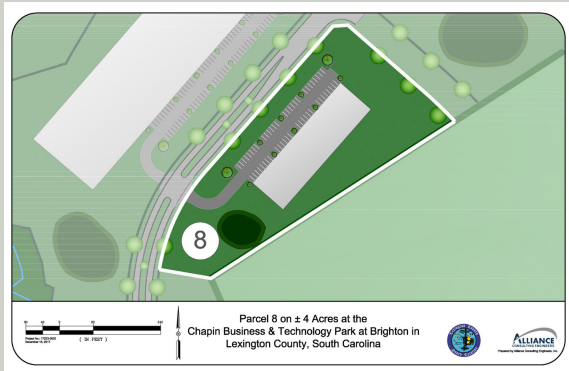
PROPOSED BUILD-OUT

- 32,000 SF
- 55 Parking Spaces

Parcel 7 currently has a sixteen (16)-inch water main and an eight (8)-inch wastewater gravity line adjacent to the site. In addition, an underground electric line is planned to be located on the northern side of Chapin Technology Parkway. A Joint Use Duct Bank for Communications is also located along Chapin Technology Parkway



PARCEL 8



Parcel 8 currently has a sixteen (16)-inch water main and an eight (8)-inch wastewater gravity line adjacent to the site. In addition, an underground electric line is planned on the eastern side of Chapin Technology Parkway. A Joint Use Duct Bank for Communications is also located along Chapin Technology Parkway.



FOR SALE

- 4 Acres Greenfield
- \$60,000 per acre

ACCESSIBILITY

- Ingress/Egress off of Chapin Technology Parkway

SPECIFICATIONS

- 4 Acres Total
- Dimensions approximately 350 feet by 650 feet
- Elevation ranges from a maximum of 416 feet above sea level to 398 feet above sea level

PROPOSED BUILD-OUT

- 30,000 SF
- 70 Parking Spaces

PARCEL 9



FOR SALE

- 11 Acres Greenfield
- \$60,000 per acre

SPECIFICATIONS

- 11 Acres Total
- Dimensions approximately 1,050 feet by 400 feet
- Elevation range from a maximum of 418 feet above sea level to 390 feet above sea level

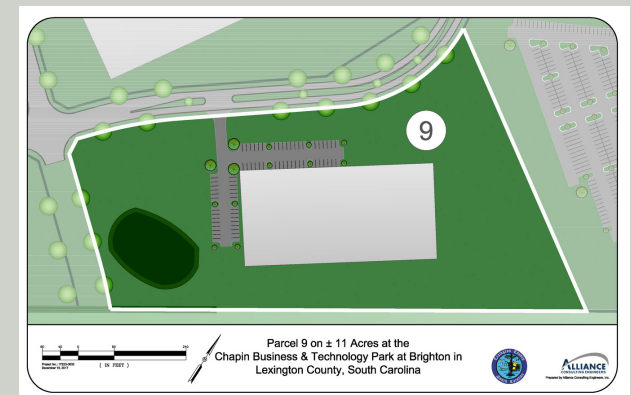
ACCESSIBILITY

- Ingress/Egress off of Chapin Technology Parkway

PROPOSED BUILD-OUT

- 92,000 SF
- 80 Parking Spaces

Parcel 9 currently has a sixteen (16)-inch water main and an eight (8)-inch wastewater gravity line adjacent to the site. In addition, an underground electric line is planned to be located on the eastern side of Chapin Technology Parkway. A Joint Use Duct Bank for Communications is also located along Chapin Technology Parkway.



PARCEL 10

FOR SALE

- 10 Acres Greenfield
- \$60,000 per acre

ACCESSIBILITY

- Ingress/Egress off of Brentwood Court

SPECIFICATIONS

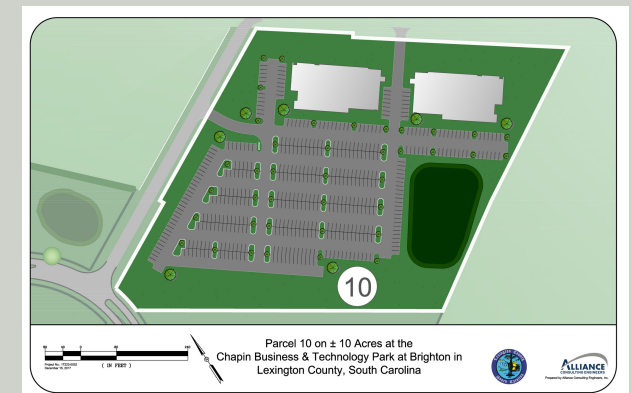
- 10 Acres Total
- Dimensions approximately 700 feet by 650 feet
- Elevation ranges from a maximum of 418 feet above sea level to 358 feet above sea level

PROPOSED BUILD-OUT

- 40,000 SF
- 500 Parking Spaces



Parcel 10 currently has a sixteen (16)-inch water main and an twelve (12)-inch wastewater force main adjacent to the site. In addition, an underground electric line is planned on the eastern side of Brentwood Court.



PARCEL 11

FOR SALE

- 3 Acres Greenfield
- \$60,000 per acre

SPECIFICATIONS

- 3 Acres Total
- Dimensions approximately 300 feet by 600 feet
- Elevation range from a maximum of 412 feet above sea level to 392 feet above sea level

ACCESSIBILITY

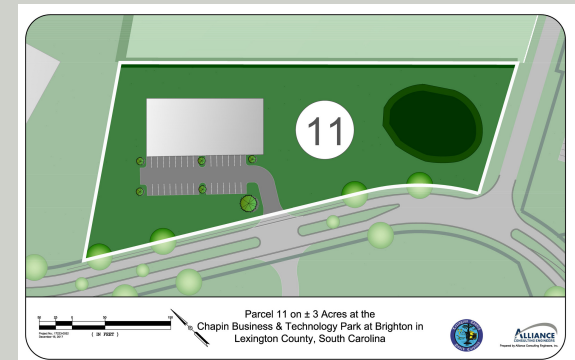
- Ingress/Egress off of Chapin Technology Parkway

PROPOSED BUILD-OUT

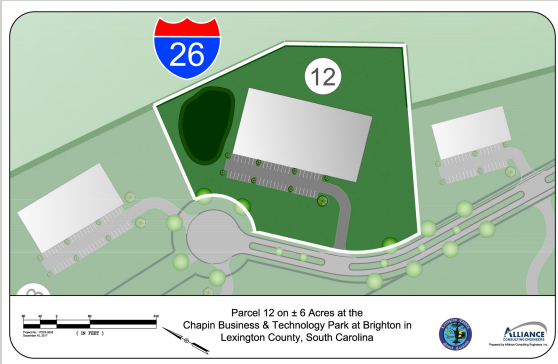
- 15,000 SF
- 40 Parking Spaces



Parcel 11 currently has a twelve (12)-inch water main and an eight (8)-inch wastewater gravity line adjacent to the site. In addition, an underground electric line is planned to be located on the eastern side of Chapin Technology Parkway. A Joint Use Duct Bank for Communications is also located along Chapin Technology Parkway.



PARCEL 12



Parcel 12 currently has a twelve (12)-inch water main and an eight (8)-inch wastewater gravity line adjacent to the site. In addition, an underground electric line is planned on the eastern side of Creative Lane. A Joint Use Duct Bank for Communications is also located along Creative Lane.



FOR SALE

- 6 Acres Greenfield
- \$60,000 per acre

ACCESSIBILITY

- Ingress/Egress off of Chapin Technology Parkway

SPECIFICATIONS

- 6 Acres Total
- Dimensions approximately 450 feet by 500 feet
- Elevation ranges from a maximum of 410 feet above sea level to 394 feet above sea level

PROPOSED BUILD-OUT

- 50,000 SF
- 55 Parking Spaces

PARCEL 13



FOR SALE

- 5 Acres Greenfield
- \$60,000 per acre

SPECIFICATIONS

- 5 Acres Total
- Dimensions approximately 325 feet by 700 feet
- Elevation range from a maximum of 396 feet above sea level to 350 feet above sea level

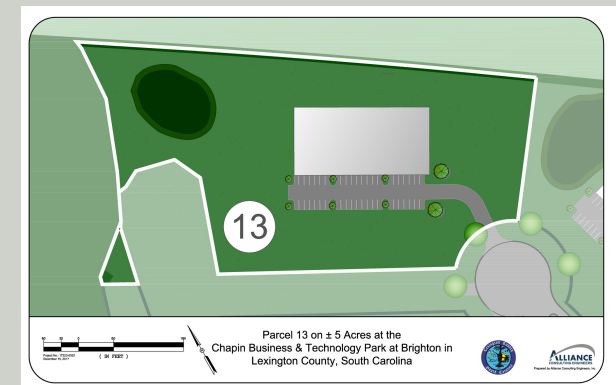
ACCESSIBILITY

- Ingress/Egress off of Chapin Technology Parkway

PROPOSED BUILD-OUT

- 27,000 SF
- 55 Parking Spaces

Parcel 13 currently has a twelve (12)-inch water main and an eight (8)-inch wastewater gravity line adjacent to the site. In addition, an underground electric line is planned to be located on the eastern side of Chapin Technology Park. A Joint Use Duct Bank for Communications is also located along Chapin Technology Park.



PARCEL 14

FOR SALE

- 4 Acres Greenfield
- \$60,000 per acre

ACCESSIBILITY

- Ingress/Egress off of Chapin Technology Parkway

SPECIFICATIONS

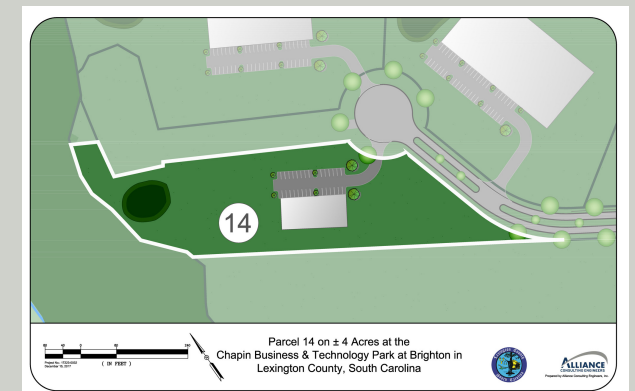
- 4 Acres Total
- Dimensions approximately 250 feet by 750 feet
- Elevation ranges from a maximum of 394 feet above sea level to 344 feet above sea level

PROPOSED BUILD-OUT

- 11,000 SF
- 45 Parking Spaces



Parcel 14 currently has a twelve (12)-inch water main and an eight (8)-inch wastewater gravity line adjacent to the site. In addition, an underground electric line is planned on the eastern side of Chapin Technology Park. A Joint Use Duct Bank for Communications is also located along Chapin Technology Parkway.



PARCEL 15

FOR SALE

- 18 Acres Greenfield
- \$60,000 per acre

SPECIFICATIONS

- 18 Acres Total
- Dimensions approximately 1,000 feet by 650 feet
- Elevation range from a maximum of 422 feet above sea level to 372 feet above sea level

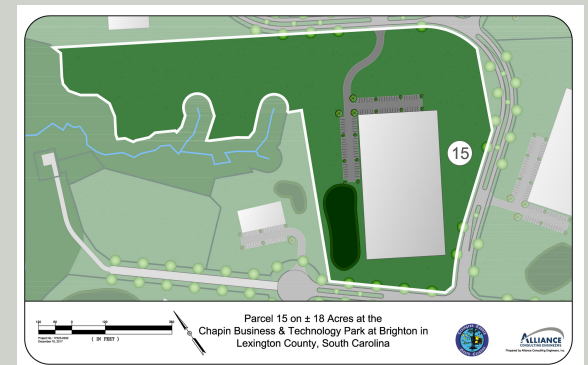
ACCESSIBILITY

- Ingress/Egress off of Chapin Technology Parkway and Innovate Avenue

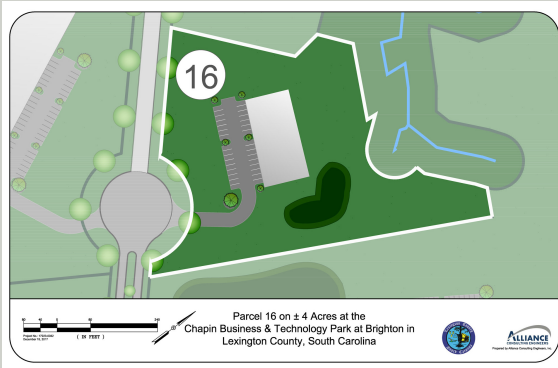
PROPOSED BUILD-OUT

- 149,000 SF
- 125 Parking Spaces

Parcel 15 currently has a sixteen (16)-inch water main adjacent to the site. In addition, an underground electric line is planned to be located on the northern side of Chapin Technology Parkway. A Joint Use Duct Bank for Communications is also located along Chapin Technology Parkway



PARCEL 16



Parcel 16 currently has a twelve (12)-inch water main and an eight (8)-inch wastewater gravity line adjacent to the site. In addition, an underground electric line is planned on the eastern side of Innovate Avenue. A Joint Use Duct Bank for Communications is also located along Innovate Avenue.



FOR SALE

- 4 Acres Greenfield
- \$60,000 per acre

ACCESSIBILITY

- Ingress/Egress off of Innovate Avenue

SPECIFICATIONS

- 4 Acres Total
- Dimensions approximately 300 feet by 400 feet
- Elevation ranges from a maximum of 408 feet above sea level to 366 feet above sea level

PROPOSED BUILD-OUT

- 13,000 SF
- 40 Parking Spaces

PARCEL 17



FOR SALE

- 10 Acres Greenfield
- \$60,000 per acre

ACCESSIBILITY

- Ingress/Egress off of Innovate Avenue

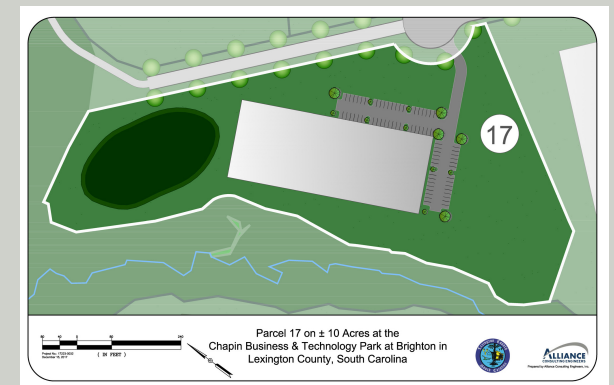
SPECIFICATIONS

- 10 Acres Total
- Dimensions approximately 1,050 feet by 500 feet
- Elevation range from a maximum of 406 feet above sea level to 352 feet above sea level

PROPOSED BUILD-OUT

- 82,000 SF
- 125 Parking Spaces

Parcel 17 currently has a twelve (12)-inch water main and an ten (10)-inch wastewater gravity line adjacent to the site. In addition, an underground electric line is planned to be located on the eastern side of Innovate Avenue. A Joint Use Duct Bank for Communications is also located along Innovate Avenue.



PARCEL 18

FOR SALE

- 10 Acres Greenfield
- \$60,000 per acre

ACCESSIBILITY

- Ingress/Egress off of Chapin Technology Parkway

SPECIFICATIONS

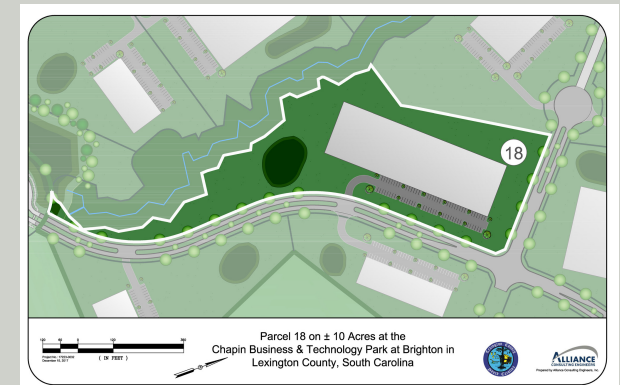
- 10 Acres Total
- Dimensions approximately 400 feet by 850 feet
- Elevation ranges from a maximum of 418 feet above sea level to 366 feet above sea level

PROPOSED BUILD-OUT

- 111,000 SF
- 125 Parking Spaces



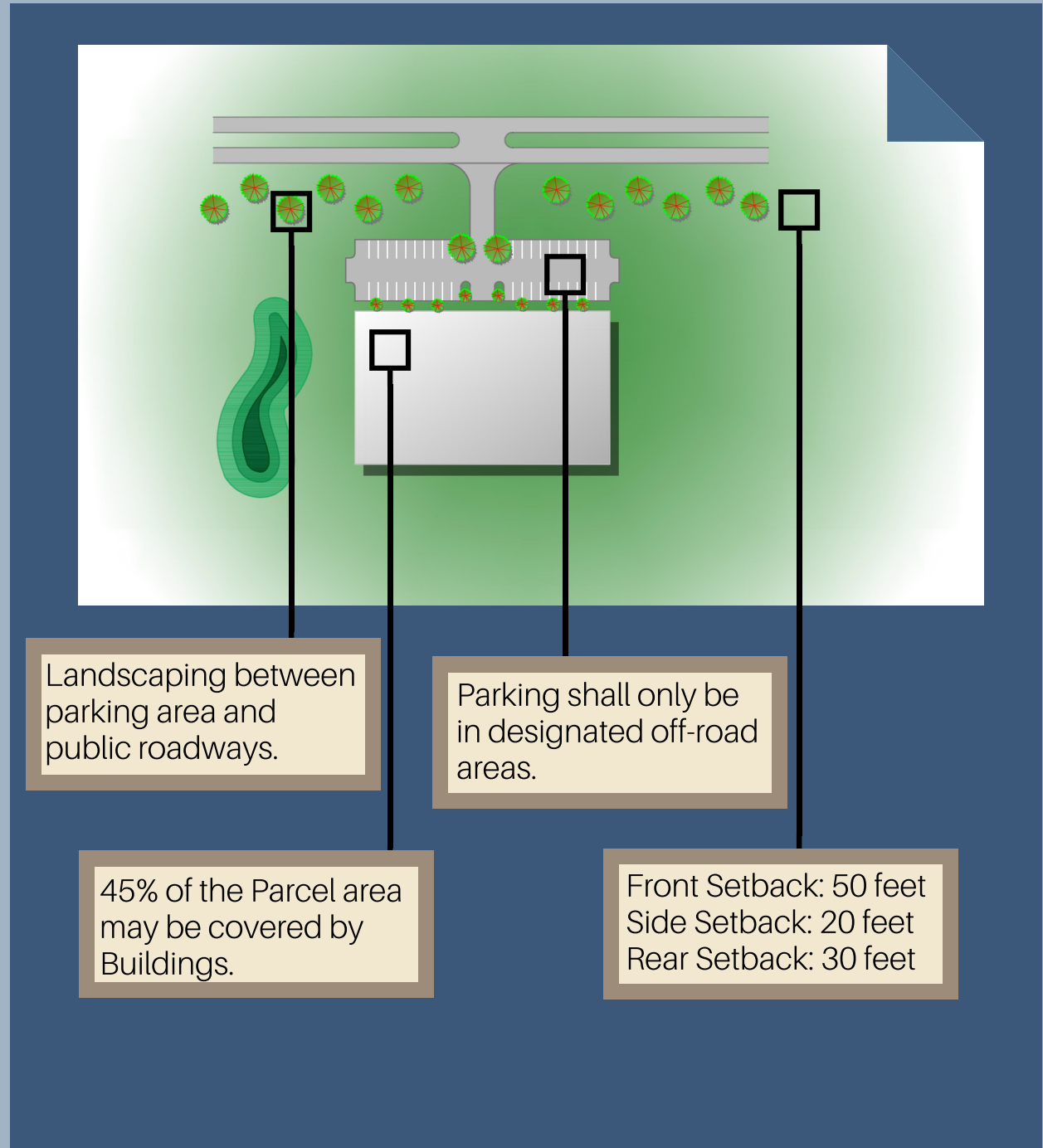
Parcel 18 currently has a sixteen (16)-inch water main and an eight (8)-inch wastewater gravity line adjacent to the site. In addition, an underground electric line is planned on the eastern side of Chapin Technology Parkway. A Joint Use Duct Bank for Communications is also located along Chapin Technology Parkway.



Site Development Standards

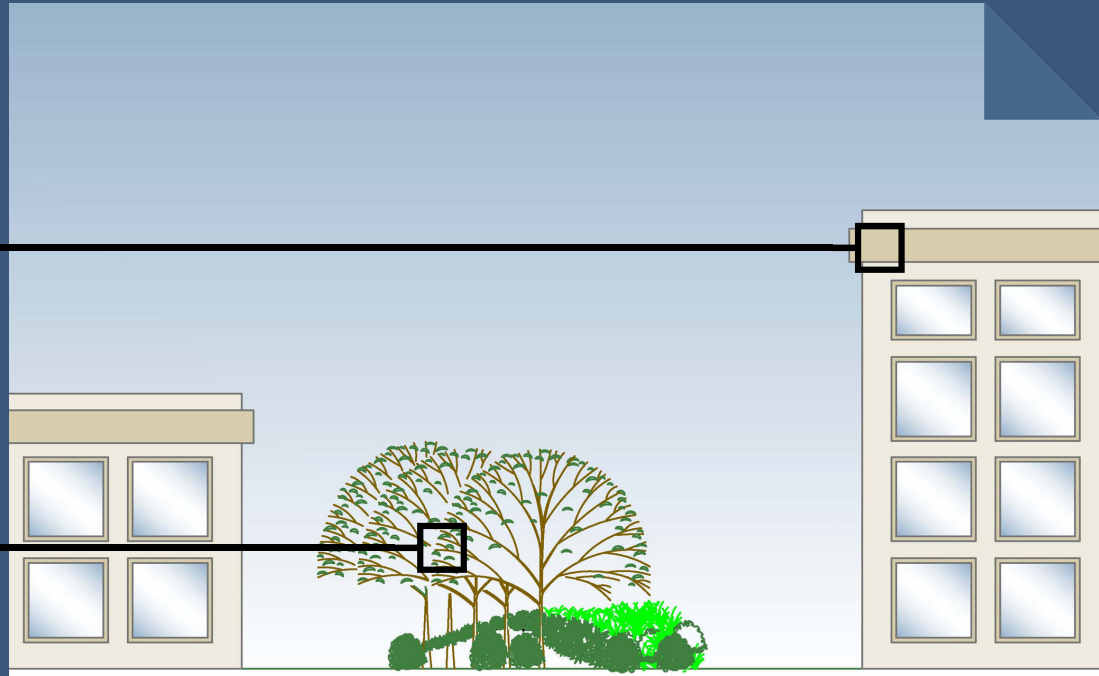
The Chapin Business & Technology Park at Brighton aims to provide a high quality business environment while conserving and enhancing the natural features of the site. In order to achieve these goals impact from existing grades, vegetation, and ecosystems are to be minimal. Instead, the preservation of the existing natural environment is encouraged through innovative site planning and design. Wetlands have been identified and incorporated into the Master Development Plan, and buffers have been established to protect these wetlands.

When designing the Master Development Plan, care was taken to provide parcels that will accomodate quality facilities.



Structures shall be no higher than 60 Feet. Buildings should vary in height.

A 5-foot landscape buffer is required along all front and side lot lines.



Buildings throughout the Chapin Business & Technology Park at Brighton are encouraged to vary buildings over two stories in height and to also screen buildings with vegetation. No water tower, stand pipe, stairways, tanks, cooling towers, wireless radio poles, or flagpoles shall exceed a height of the building.

Within an individual parcel, where buildings are not separated by a property line, the buildings shall be separated by a distance equal to the height of the tallest of the two adjacent structures.

Each owner is responsible for providing a landscaped or natural buffer. The landscape buffer is to be approximately five (5) feet wide. Drainage easements are not included as part of the buffer area; however, wetland buffers may be included.

Parking Standards

Parking at the Chapin Business & Technology Park at Brighton should be designed in such a way to reduce the overall visual impact. Parking Requirements at the Business and Technology Park must be designed in accordance with Lexington County's Zoning Ordinance, as well as approved Declaration of Covenants, Conditions, and Restrictions for the Chapin Business & Technology Park at Brighton. Compliance with the Americans with Disabilities Act (ADA) is also mandatory.

At a minimum: One (1) Space for each two (2) employees on the largest shift, one (1) space for each office staff, one (1) visitor space for each ten (10) persons on office staff, and one (1) space for each vehicle used directly in the conduct of business.

ADA accessible parking spaces are required, as outlined in the ADA Accessibility Guidelines.

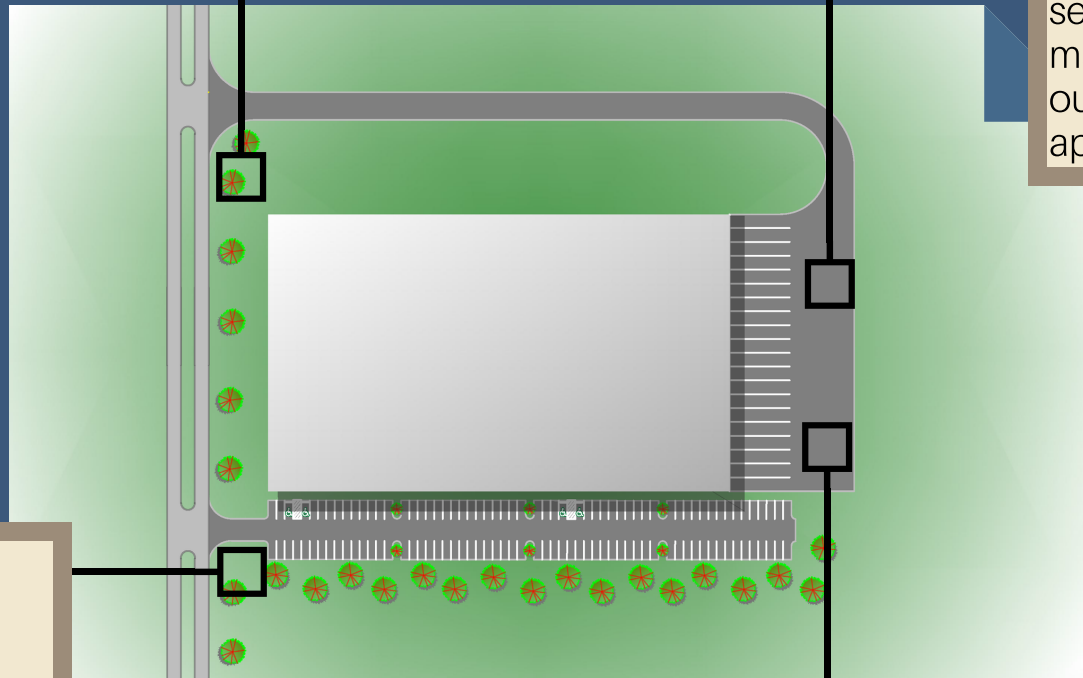


Parking shall not be permitted on any street or place other than the paved parking spaces.

Materials, supplies, equipment, finished, or semi-finished products may not be stored outside without approved screening.

Paved parking between a building and street frontage shall be at least 25 feet from the street frontage property line.

Loading and receiving areas shall not be permitted in the front yard of any Building Site.



Building Design

Architecture shall reflect the high quality work environment envisioned in the Chapin Business and Technology Park Master Plan. Building Materials and Design shall be of such materials, design, and color as may be approved by the Developer.

Height shall be restricted to approximately 60-feet based on a 20-foot setback from the property line.

Concrete masonry units or concrete panels shall be finished in stone, textures or coated tastefully.

Design of canopies shall be in keeping with the design of the buildings including color coordination.



Improvements to Buildings Site shall be kept in good condition and repair, properly maintained and adequately painted or otherwise finished. Each owner shall keep all Improvements safe, clean, maintained, in neat condition and shall comply with all governmental statutes, ordinances, regulations, and health police and fire requirements.

Owners other than the Developer are not permitted to subdivide or in any way alter the size, shape or area of any Parcel. The prohibition against subdivision of any Parcel by any owner, other than the Developer, shall survive any conveyance by the Developer to any owner or any conveyance to any successor Owner.

Metal siding shall not be permitted unless specifically approved in writing by the Developer.

Monotony of line and regularity of structure should be avoided by varying height of buildings over two stories.



Grading

Site Grading shall be kept to a minimum and alterations to existing drainage systems - both natural and man-made - shall be avoided wherever possible. Site grading should be done in a way to preserve and enhance existing site features and to provide positive drainage. Stormwater management shall be the responsibility of the individual owners.

Necessary grading shall maintain a natural appearance, producing graceful contours and smooth transitions. Berms, channels, and swales should be shaped to be an integral part of the overall grading plan.

Excavations shall only be made on Building Sites in connection with construction of improvements and in connection with stormwater management systems. Upon completion of improvements, exposed openings shall be backfilled and disturbed ground shall be smoothly graded and landscaped.





Retaining walls are acceptable where proposed grades are in excess of 3:1. Where retaining walls are used they should be of a material compatible with the building architecture. To protect slopes in excess of 3:1 that are not utilizing retaining walls, appropriate slope stabilization treatments should be utilized.

Swales should be designed so that they can be stabilized by vegetative means. Mechanical means may only be used when there is no other alternative. Curves should be used that flow with the topography. Storm drainage on the building site shall meet and comply with all applicable county, state, and federal laws.

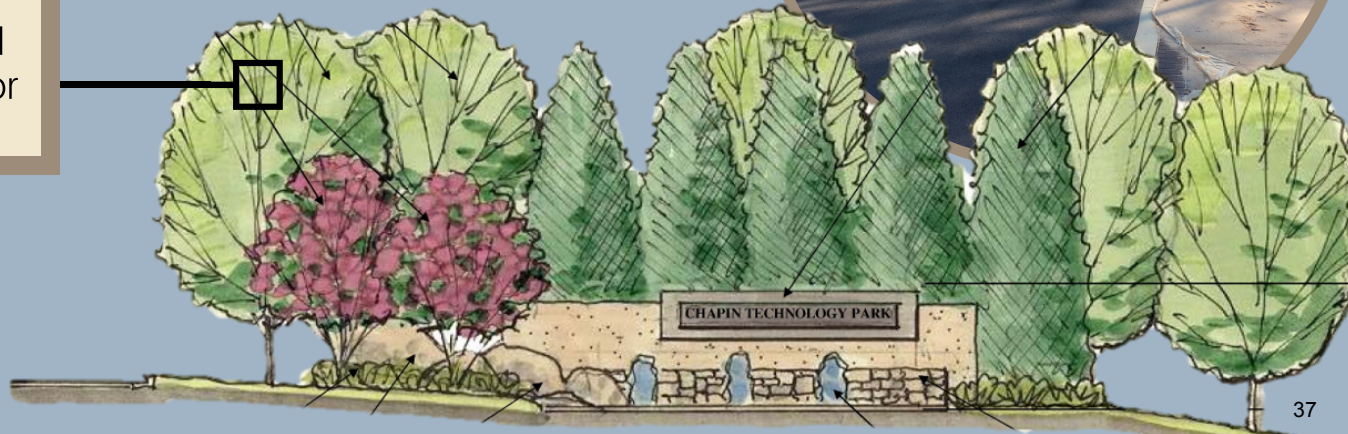
Landscaping

All Building Sites shall be landscaped to promote a compatible and continuous landscape throughout the property and to provide for a neat and well maintained appearance in areas not covered by buildings or parking.

Landscaping Plans must be in compliance with Lexington County Landscaping Ordinance.

The area between the Building and the property line, street curb, or ditch shall be landscaped by the Owner of the Building Site.

Plans and specifications for landscaping shall be submitted to the Developer for review prior to installation.





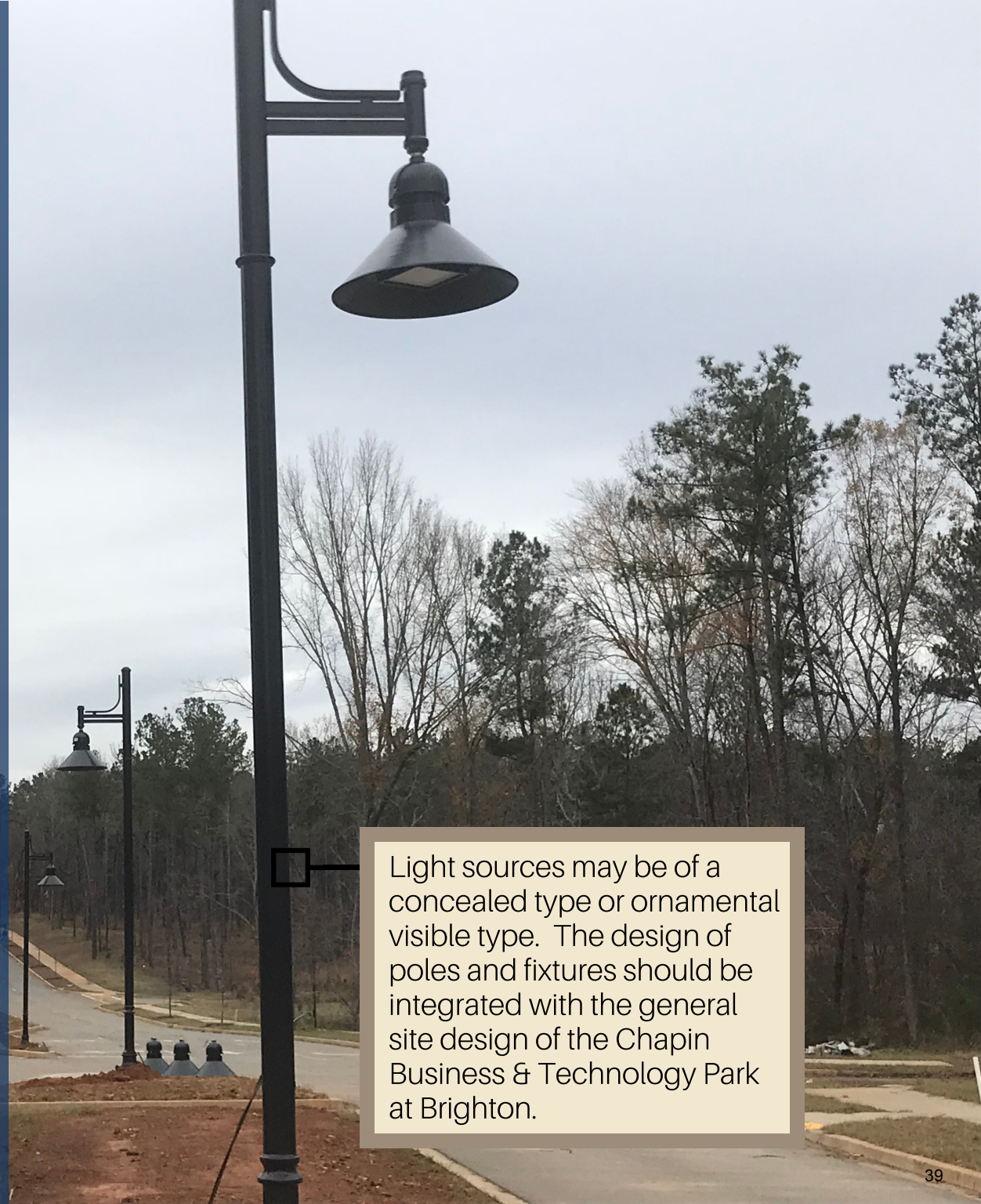
The area between paved parking and the curb line of the street shall be suitably landscaped with either berms or other landscape treatment. When paving adjacent to any side property line, a minimum of five (5) feet of landscaping shall be provided along the side property line. Fences, walls, hedges or mass plantings shall only be erected, installed, or permitted with written approval of the Developer.

Landscaping shall be installed within 60 days after substantial completion of construction, weather permitting.

All planted grasses, trees, shrubs or other plantings shall be maintained consistently in a neat, orderly, and healthy manner.

Lighting

In general, exterior lighting of any nature on any Building Site shall be designed, erected, altered, and maintained in accordance with plans and specifications approved by the Developer. Exterior lighting on all Buildings shall be limited to signs and security and safety illumination of driveways, parking lots, walks, building entrances, loading and service areas and exterior lighting of overall building services. Lighting shall be compatible and harmonious throughout the property, and shall be keeping with the exterior design of the Building Site.



Light sources may be of a concealed type or ornamental visible type. The design of poles and fixtures should be integrated with the general site design of the Chapin Business & Technology Park at Brighton.

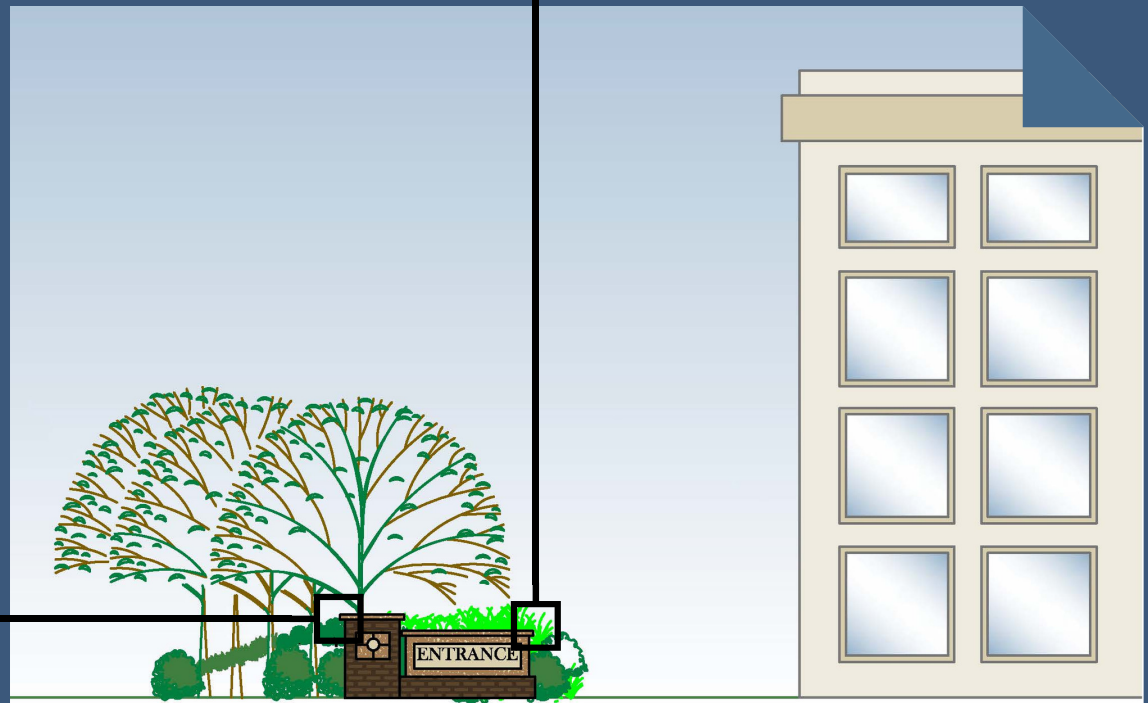
Signage and Graphics

Signs within individual Building Sites are the responsibility of the Owner, however, should comply with the overall design of the Business & Technology Park. Any and all signs located on the property shall be submitted to the Developer for written approval.

Two (2) wall signs per tenant are allowed, however, signs must conform with Lexington County Sign Ordinance and Setback Requirements.

Neon, flashing, or moving signs are prohibited.

Monument signs located on the Property shall be less than 10 feet in height.



Construction Procedures

Construction shall be conducted so as not to be destructive or offensive to adjacent properties through noise, vibration, smoke, dust or particulates, toxic or noxious waste materials, odors, fire, and explosive hazard. Improvements shall be constructed, erected, placed, altered, maintained, or permitted on any Building Site after plans and specifications have been approved in writing by the Developer.

Prior to the commencement of construction on any Building Site, including grading, a pre-construction meeting shall be conducted. This meeting will include the Developer and its representatives, the Owner or the Owner's representatives, and the contractor including the site grading contractor.

The Developer shall have the right to control construction traffic on the property during construction as well as access to the Building Site. The Developer shall at no times deny an Owner access to the materials, equipment, personnel, and other personal property.

Following commencement of construction of any improvement, the owner shall diligently work to the end of that improvement. All improvements shall be completed within one (1) year, unless approved by formal request.



Important Contacts and References

DEVELOPER

Lexington County Economic Development
212 South Lake Drive
Lexington, South Carolina 29072

ENGINEER OF RECORD

Alliance Consulting Engineers, Inc.
Post Office Box 8147
Columbia, South Carolina 29202
(803) 779-2078



Declaration of Covenants, Conditions, Restrictions and
Easements for Chapin Business & Technology Park at
Brighton, effective September 12, 2017

Lexington County Zoning Ordinance
effective October 25, 2016

Lexington County Land Development Manual
Effective January 1, 2017

Lexington County Landscape and Open Space
Ordinance, effective December 13, 2016

